



Charlotte Kimelman Cancer Institute

CZM Application
Presentation
February 2023

Agenda

- Opening Remarks
- FCD Chronology
- Project Overview and Description
- Best Management Practices
- Summary/Conclusion
- Q/A



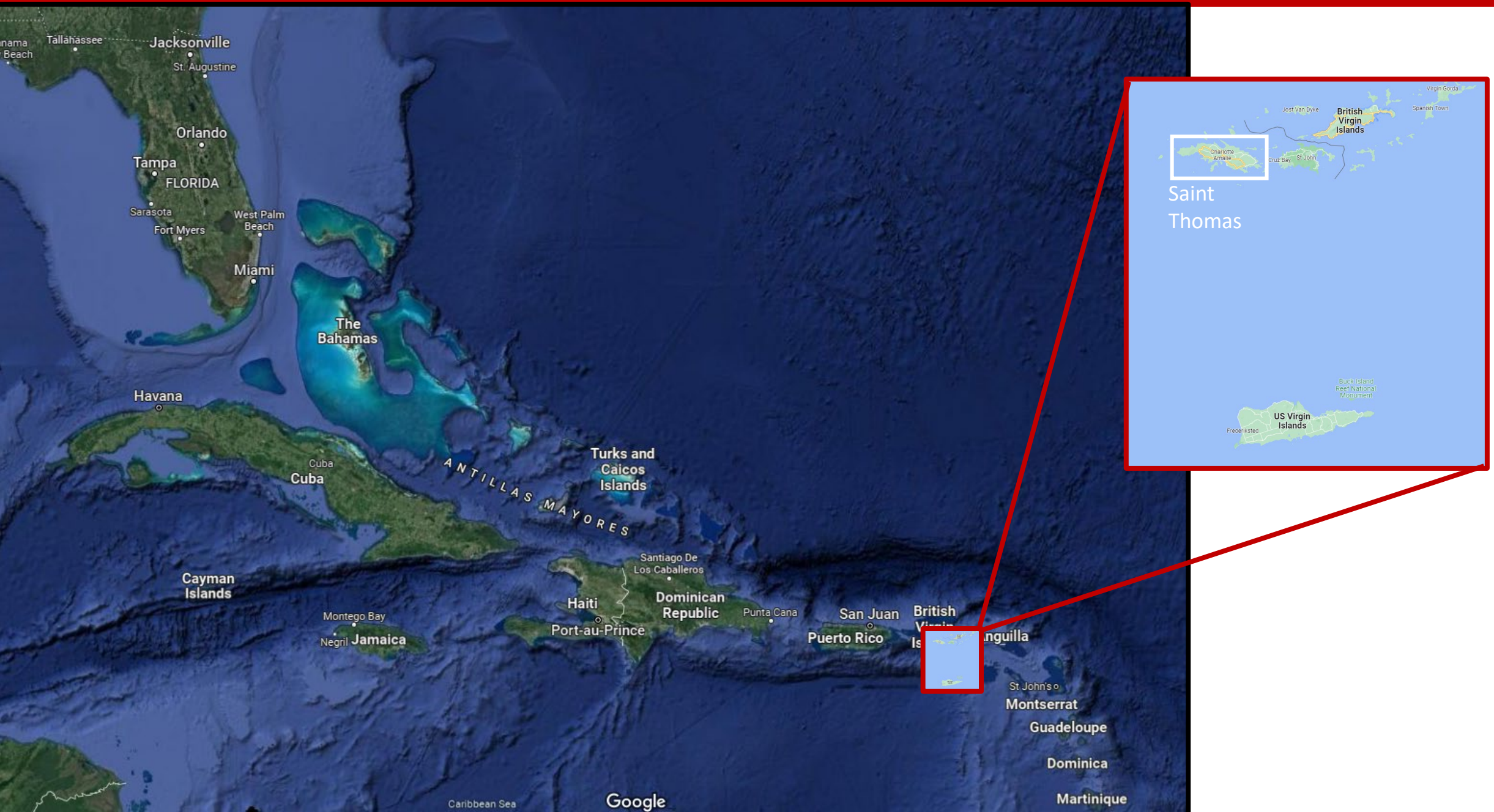
Opening Remarks

FCD Chronology for the Project

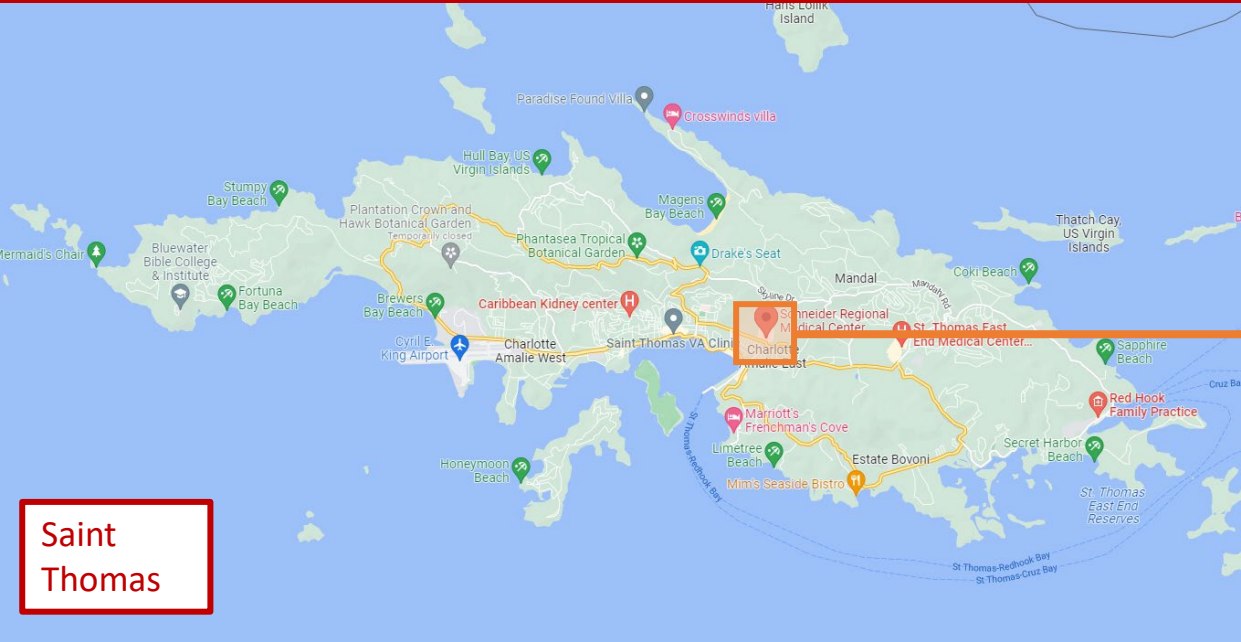
- July 2022- Federal Consistency Negative Determination for Selective Demolition
- August 30th, 2022- Pre-Application Meeting for Addition and Renovation
- February 2023- Application Submitted for Review

Project Overview

Charlotte Kimelman Cancer Institute - Site Location



Charlotte Kimelman Cancer Institute - Site Location



Charles Kimelman Cancer Institute

Address: 9048 Alton Adams Sr Dr, St Thomas 00802, U.S. Virgin Islands

Owner: Government of the Virgin Islands

Parcel Number: 1-05501-0201-00

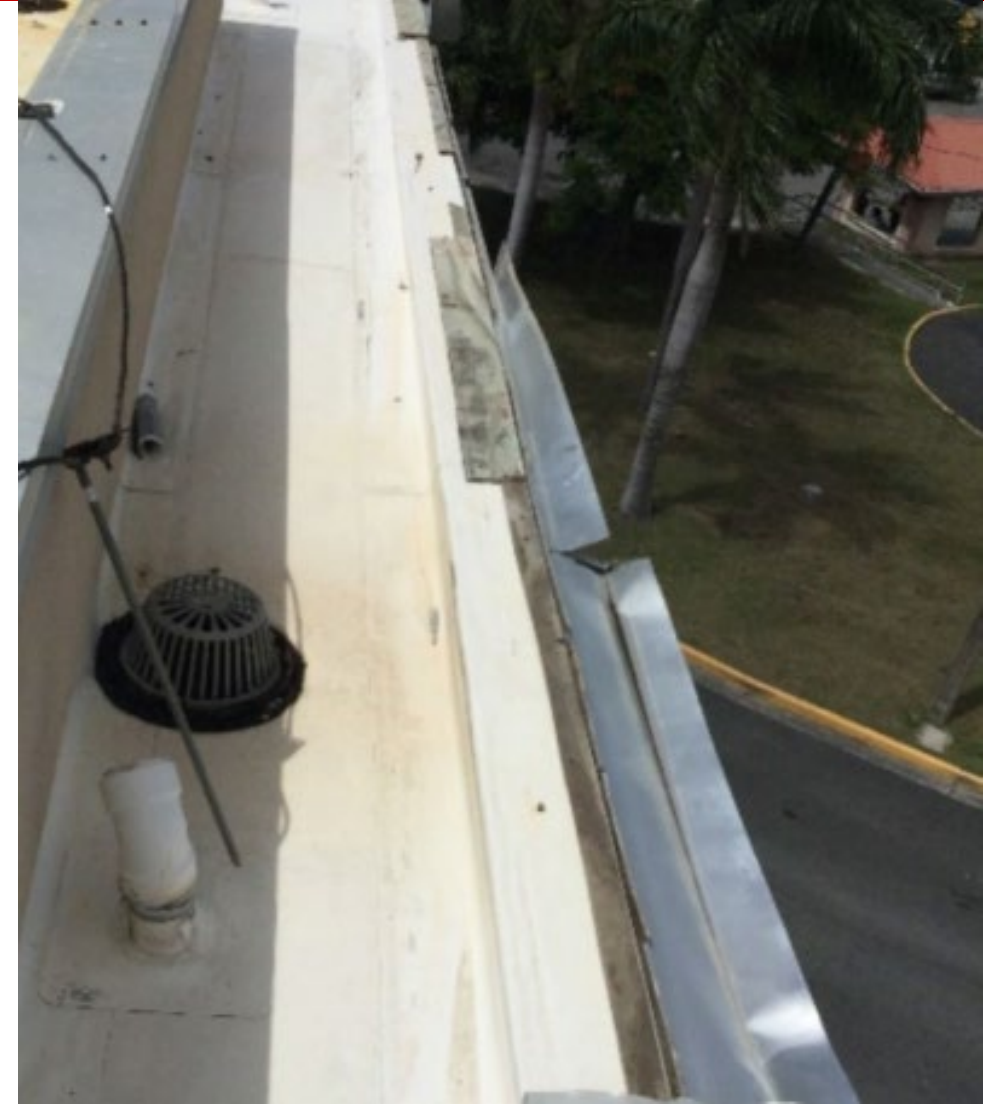


Charlotte Kimelman Cancer Institute – Land Use

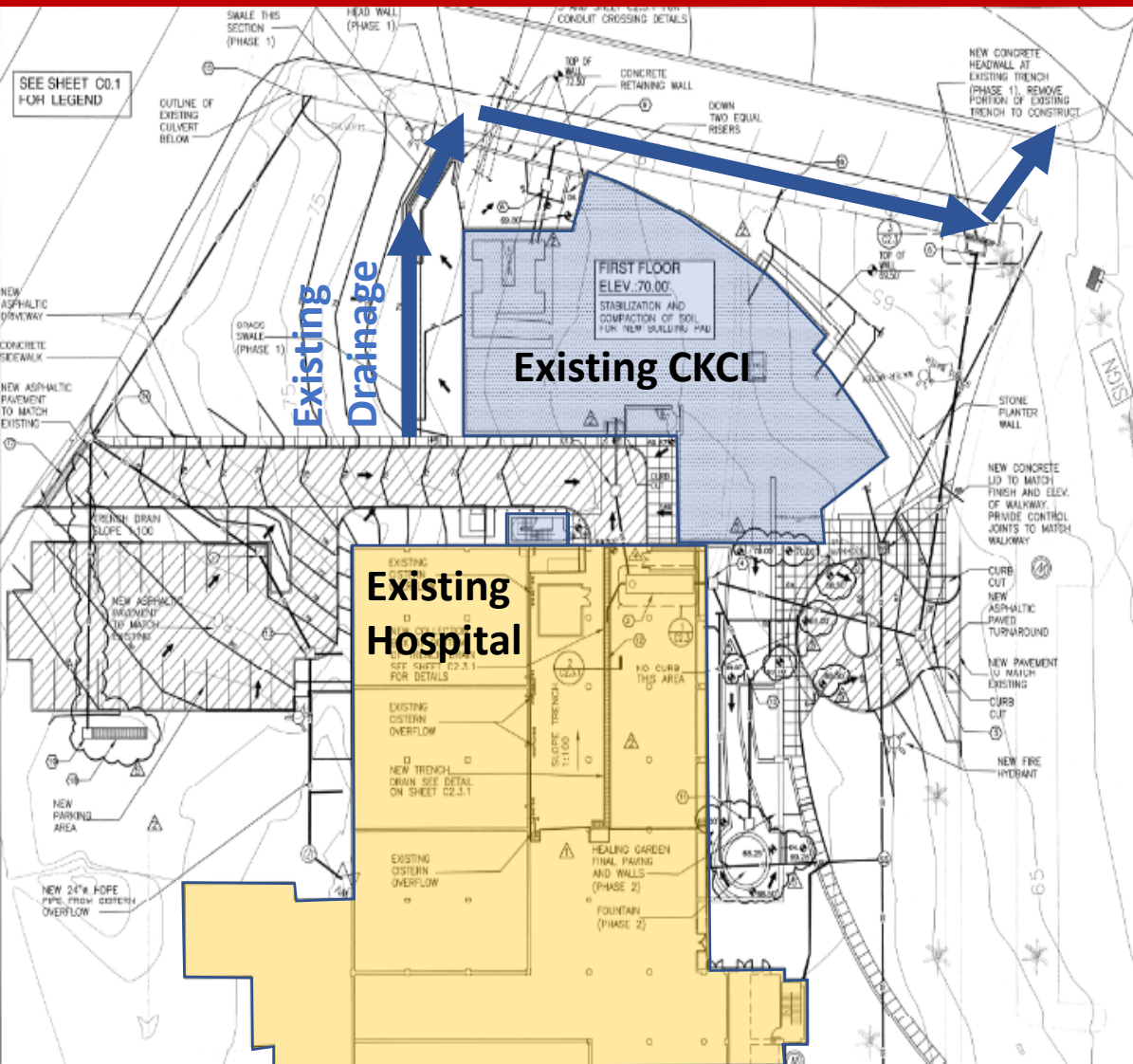
- Adjacent Land Use is a mixture of residential, commercial, institutional, and undeveloped natural areas.
- A school and post office are to the west, light commercial is to the southwest and east, residential is to the south, and the north has some light commercial but is mostly undeveloped.



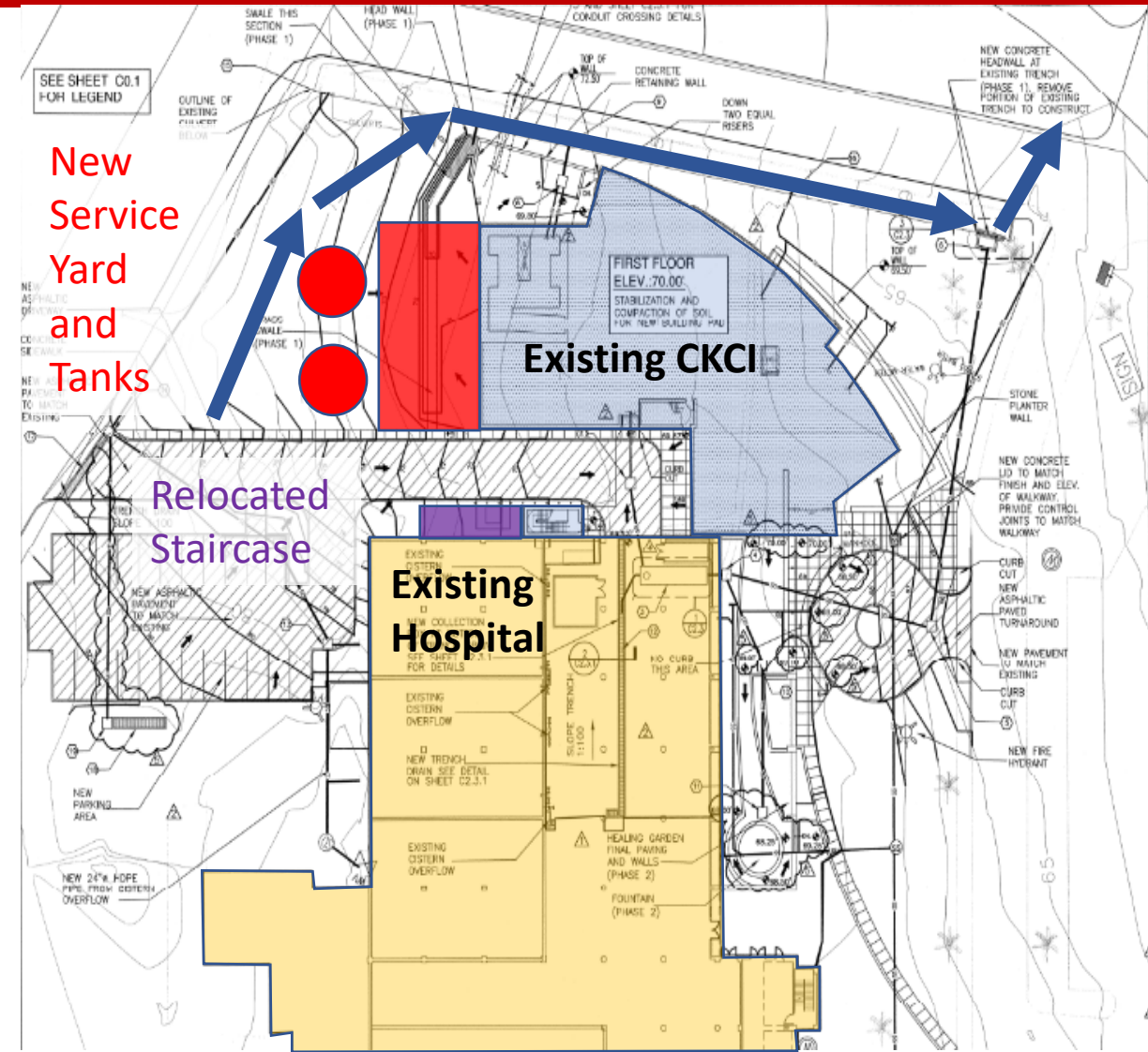
Charlotte Kimelman Cancer Institute – Reason for Project



Charlotte Kimelman Cancer Institute – Site Overlay



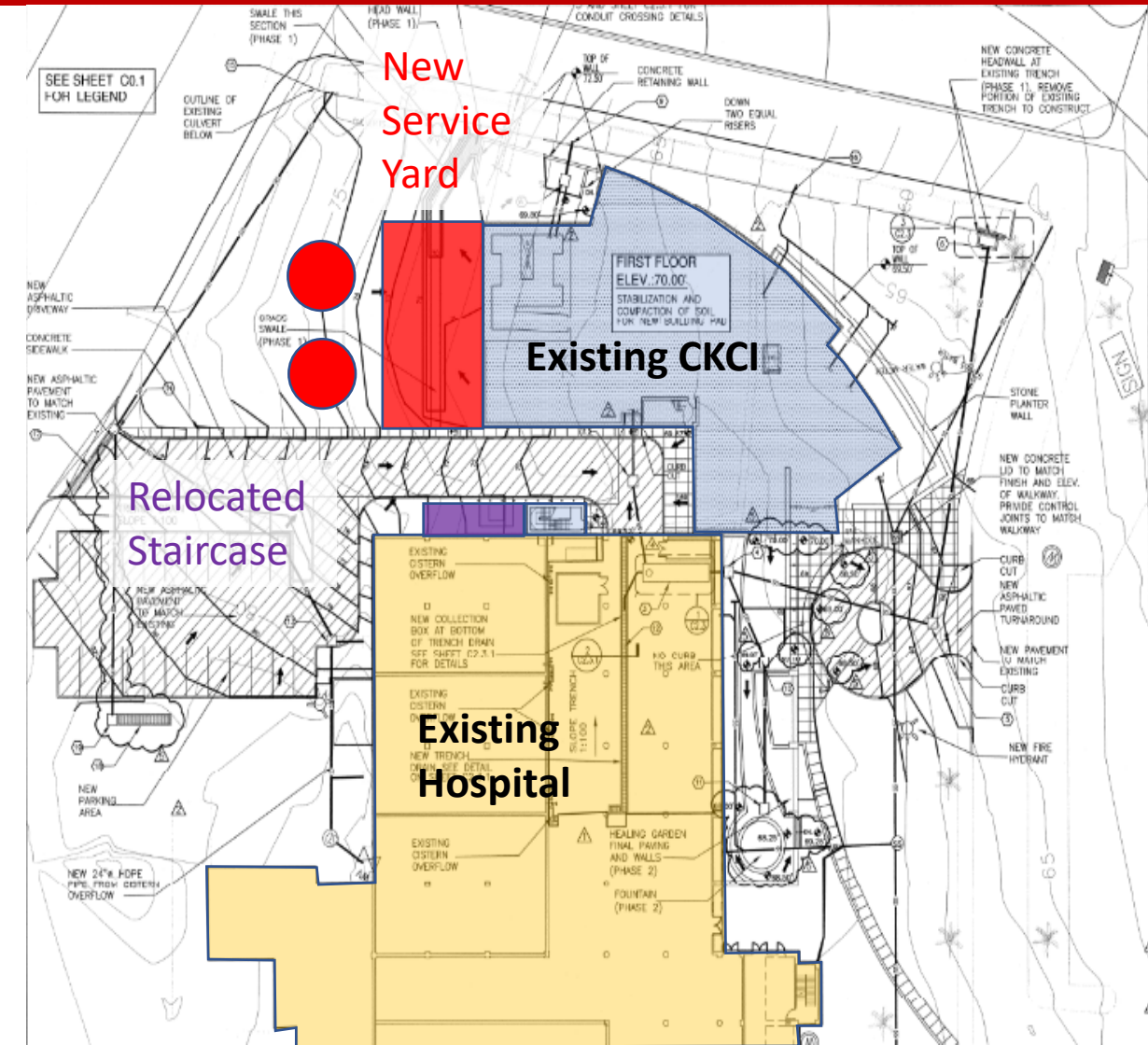
Existing Site Conditions



Proposed Site Conditions

Charlotte Kimelman Cancer Institute – Site Construction

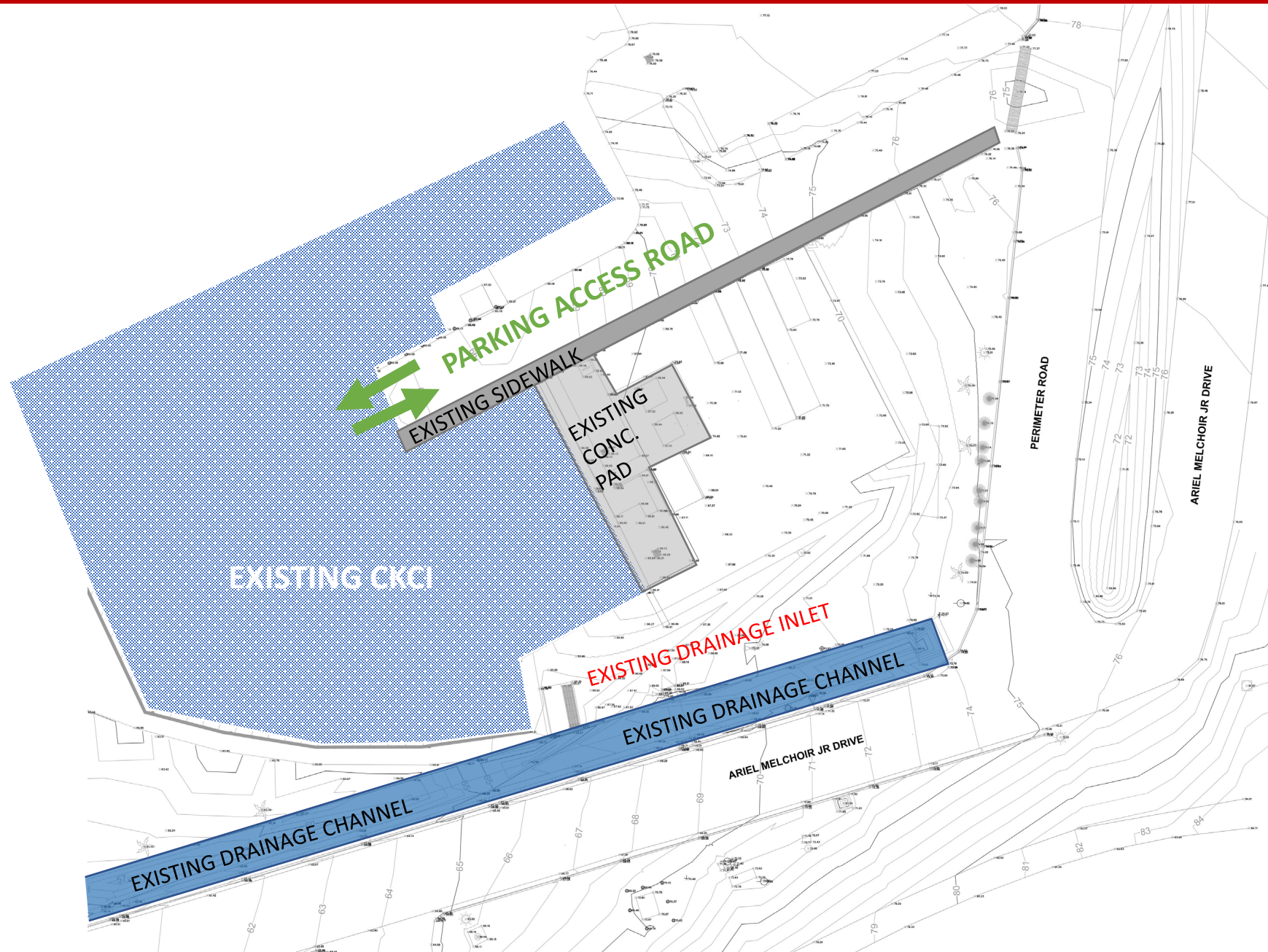
- The existing Hospital site and footprint remain unchanged in this scope of work.
- One existing wall is reconstructed in order to ensure proper life safety at project completion
- CKCI's footprint expands to the west 40 feet to accommodate a new utility yard and service spaces. Retainage and swale to be reconfigured to comply with local and USVI requirements. Two new temporary water storage tanks will be installed as well. The new footprint is 1,698 sq ft larger and a 5,000 sq ft equipment slab is added.
- CKCI's footprint expands to the west to accommodate a stair relocation of 25 feet to allow for a second floor expansion that will not affect the building footprint other than the stairs.
- The interior of CKCI will be renovated and modernized. Portions of the exterior skin will be replaced as a result of envelope testing.



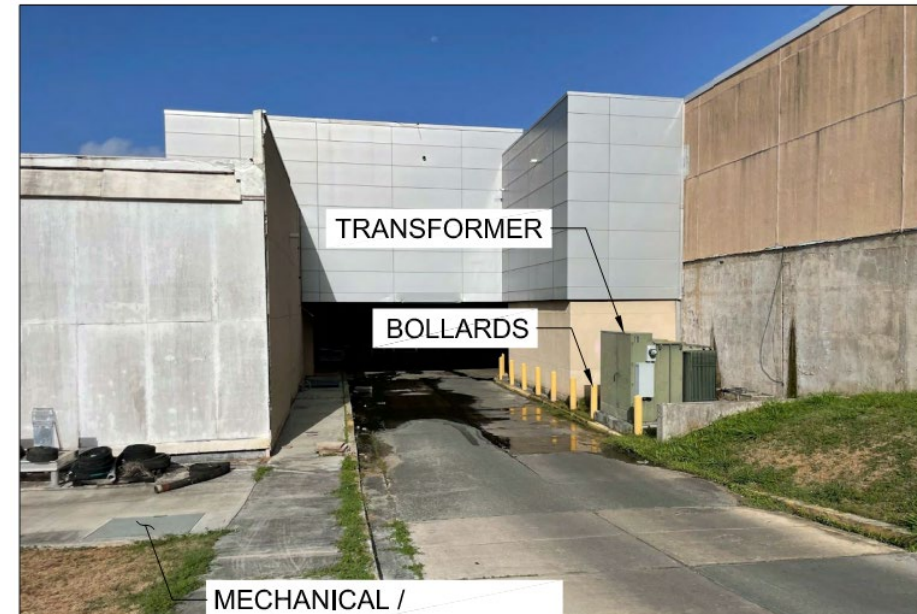
Proposed Site Conditions

Charlotte Kimelman Cancer Institute – Existing Site Features

- The existing site slopes down towards the building and run off is captured at inlets leading to concrete drainage channels.
- Staff Parking is accessed through a tunnel underneath the existing cancer center second floor.
- A sidewalk runs along the parking access road for emergency egress but there are no other pedestrian features on this portion of the site.
- There are some utilities in this area that will be replaced or relocated in the proposed scope of work.
- Area of work is approx. 12,600 sq ft (0.29 acres)

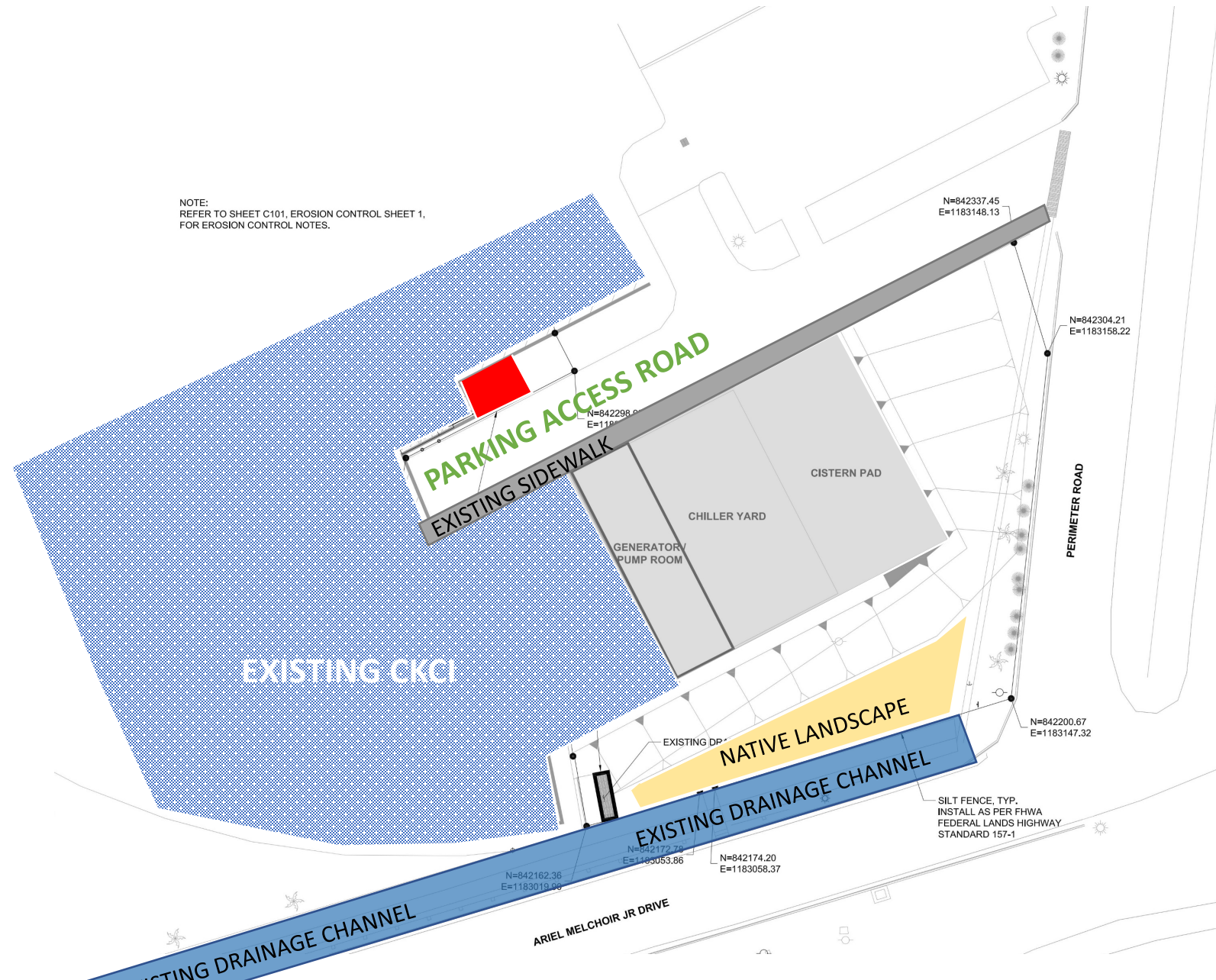


Charlotte Kimelman Cancer Institute – Existing Site Features



Charlotte Kimelman Cancer Institute – Site Features

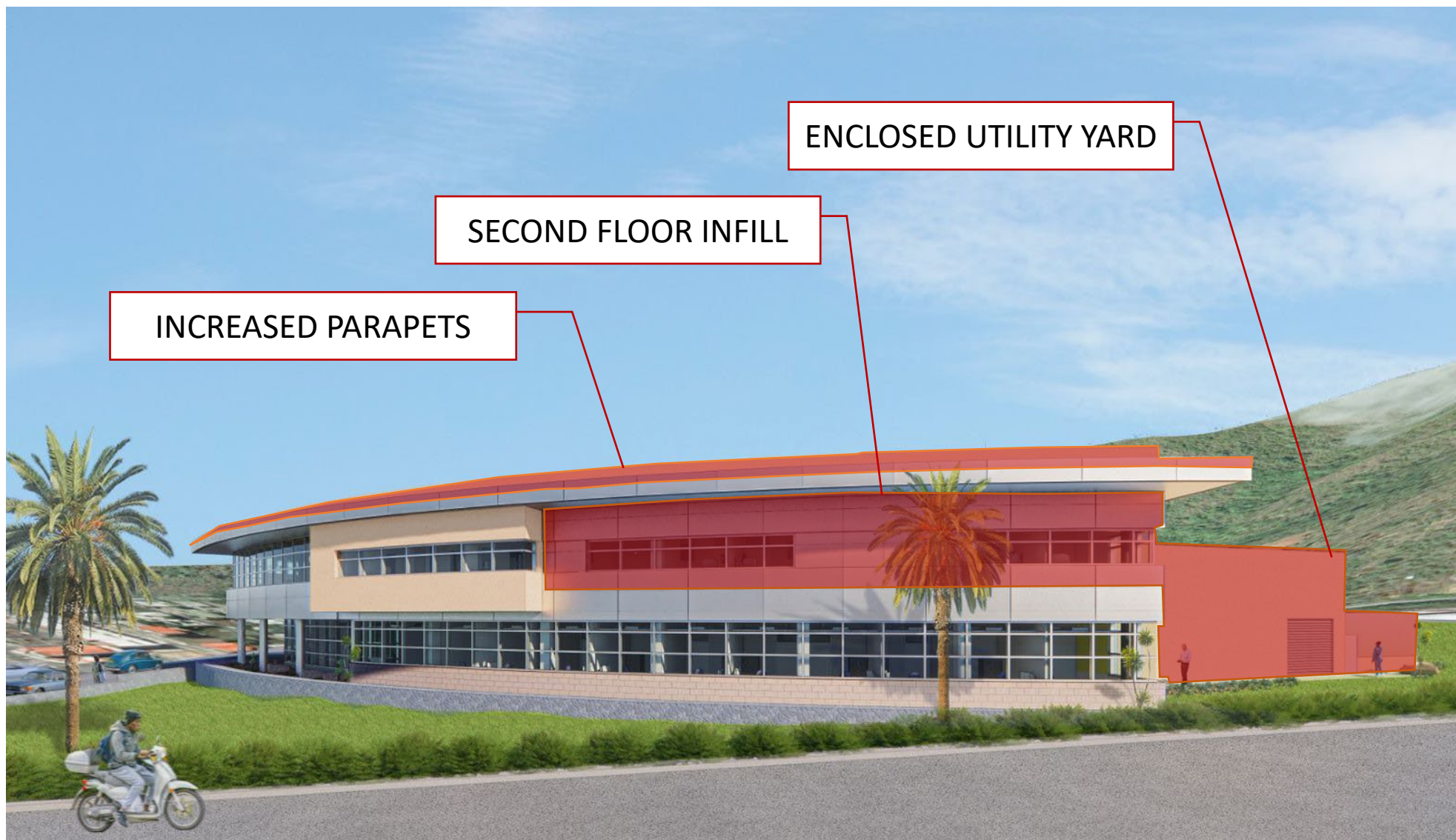
- The drainage is modified to work with the new foot print and still uses the existing inlet and concrete trench.
- Staff Parking (18 spaces) will be unavailable during a portion of construction but can be accommodated elsewhere on site.
- The existing sidewalk is unaffected
- CKCI utilities are modified to be independent from RLSH and two temporary water cisterns are installed
- New native landscape to be provided at disturbed area



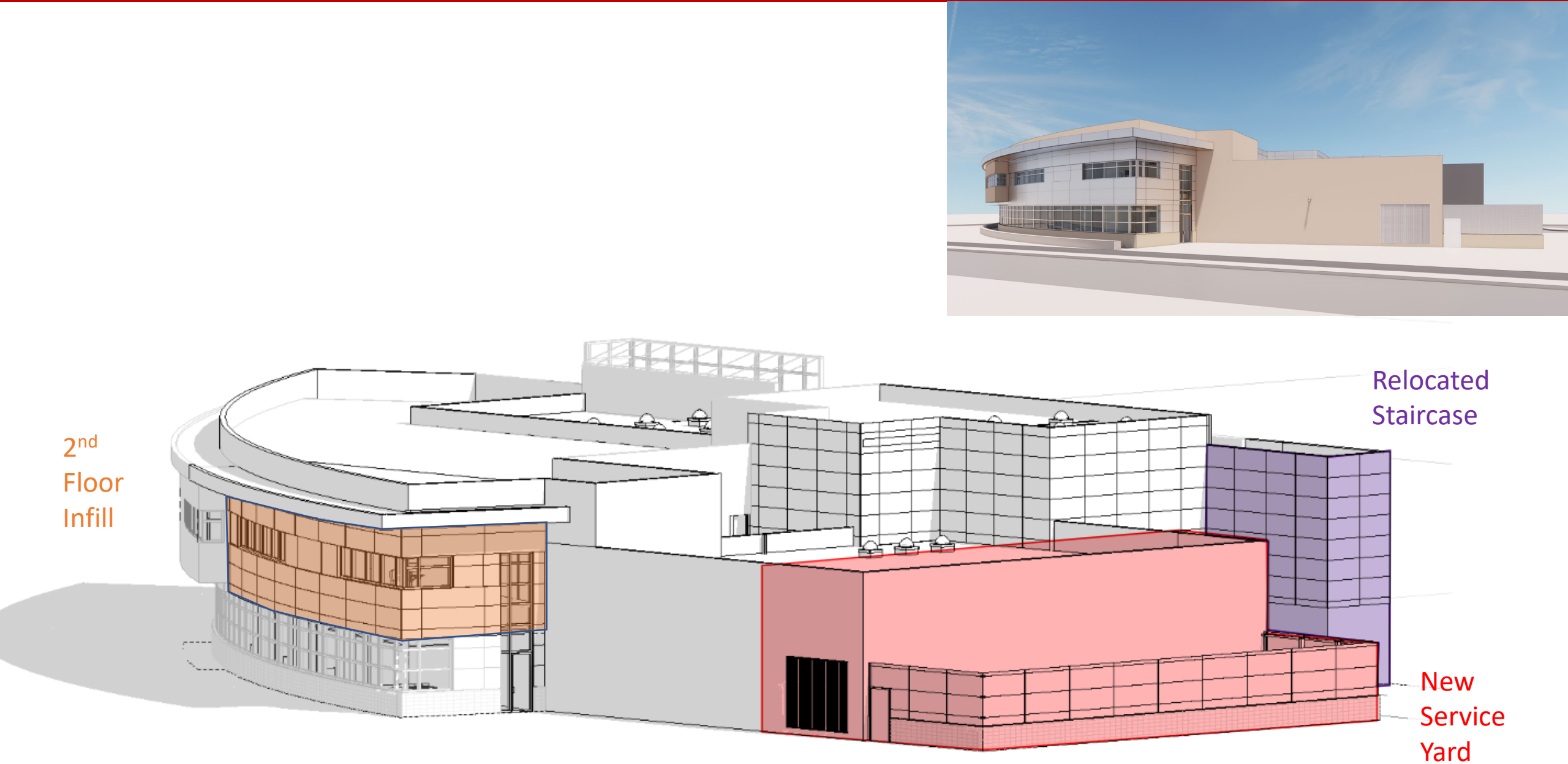
Charlotte Kimelman Cancer Institute – Exterior Additions



Charlotte Kimelman Cancer Institute – Exterior Additions



Charlotte Kimelman Cancer Institute – Footprint Expansion

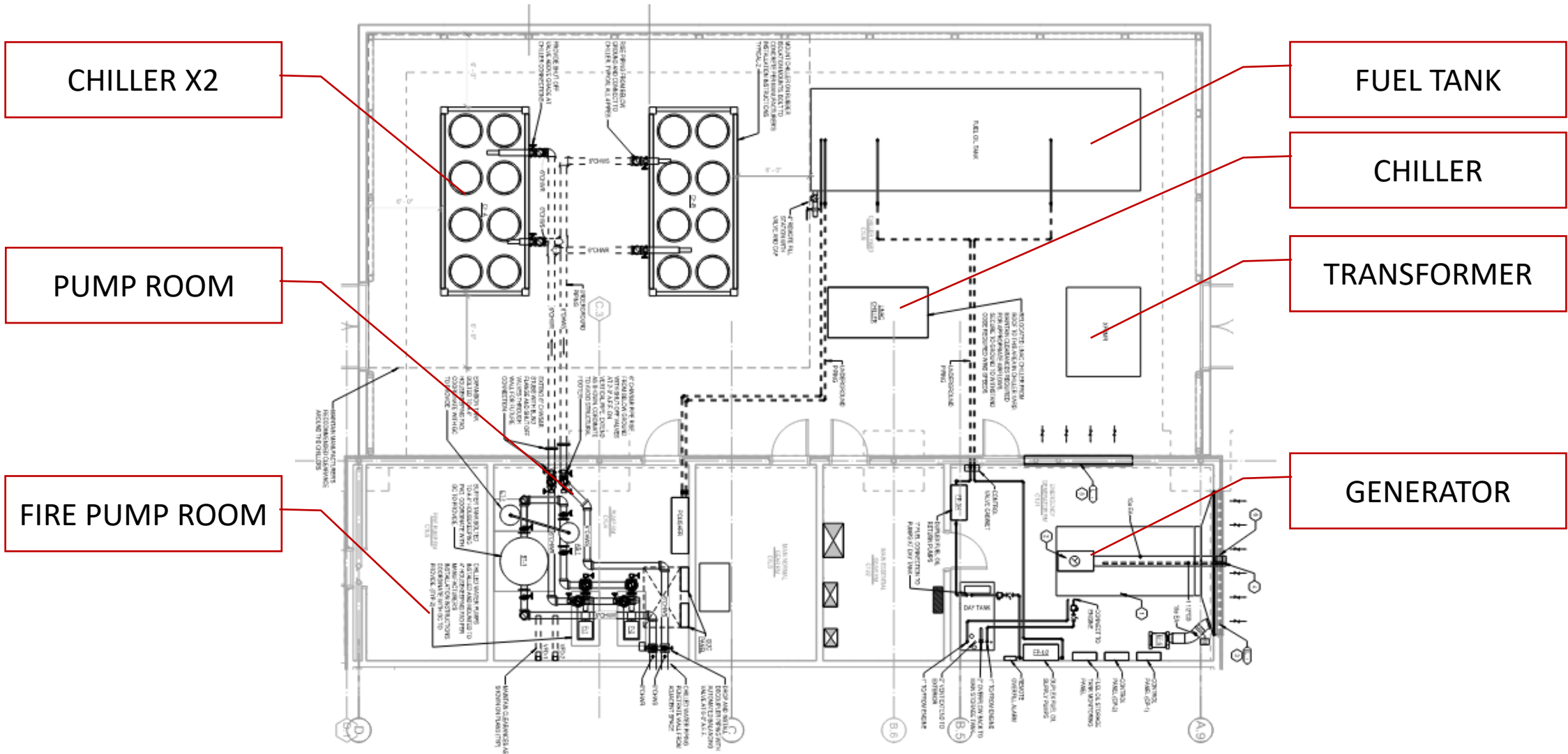


ENCLOSED UTILITY YARD

STAIR RELOCATION

Utility Yard
Generator
2x Cisterns
Relocated AHU

Charlotte Kimelman Cancer Institute – Utility Yard



EYP A Page/Company
JDG Jaredian Design Group
Architects, Engineers and Construction Managers

Charlotte Kimelman Cancer Institute – Project Phasing

- The current intent is to split the project into two phases.
- Phase 1: Selective Demolition
 - This phase will include selective demolition of non-structural interior elements of CKCI in order to clear the construction areas for the upcoming renovation. No new construction will occur during this scope of work
- Phase 2: New Construction
 - This phase will include the civil work described above, the repair and replacement of roof and building envelope, infilling an existing second floor exterior patio, and the reconfiguration and modernization of the interior of CKCI.



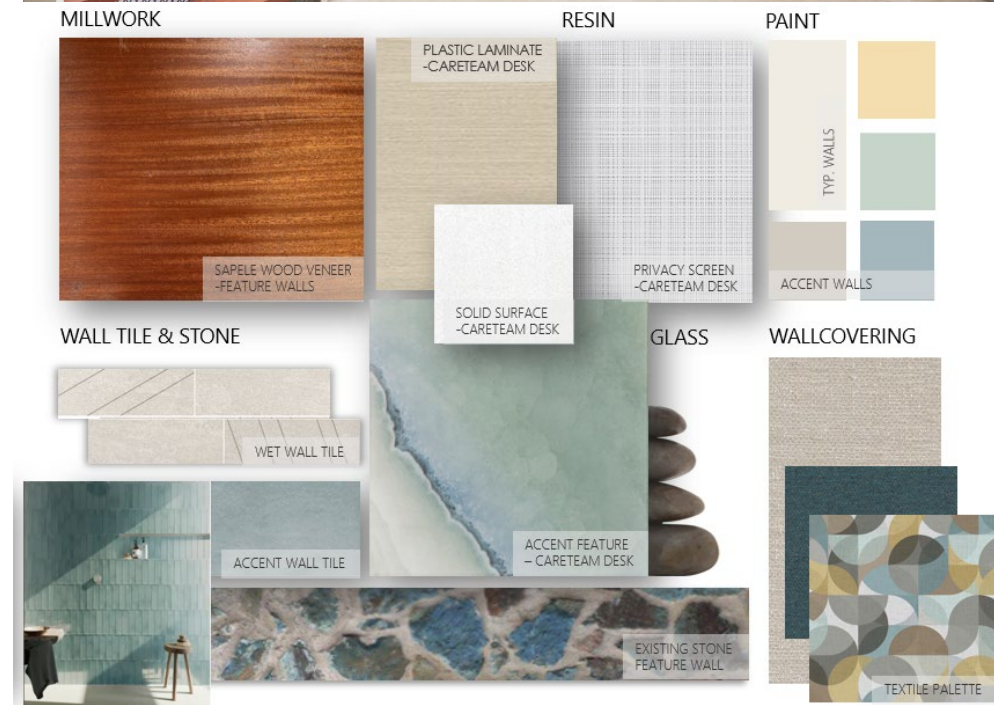
Charlotte Kimelman Cancer Institute – Project Details

- Existing First Floor Square Footage: 14,845 sf
- Proposed First Floor Square Footage: 15,470 sf
- Existing Second Floor Square Footage: 10,783 sf
- Proposed Second Floor Square Footage: 13,740 sf
- Proposed Structure: Steel Frame
- Proposed Roof: Siplast Fluid Applied Roof System
- Proposed Envelope: 3 Part stucco with Florida Product Approved exterior coating over sheathing and ACM exterior wall panels over sheathing and metal studs.
- Proposed Windows: Existing YKK YHC300 Curtain Wall to remain. New windows to be YKK YHC300 Curtain Wall with Florida Product Approval.
- Proposed HVAC: On-grade Chiller system
- Proposed Generators: 750kw w/ 7 day capacity
- Wind Pressures: $V = 166$



Charlotte Kimelman Cancer Institute – Project Details

- Complete Interior Renovation and Refurbishment
- Modernization to current Building Codes, Energy Codes, Facility Guidelines Institute Requirements, and USP 800 and 797 Pharmacy Guidelines
- State of the art Linear Accelerator and CT Systems
- Expanded Exam Room Capacity
- Expanded Infusion Bay Capacity
- Enhanced patient and staff experience
- Solar lighting fixtures to bring natural light deeper into facility



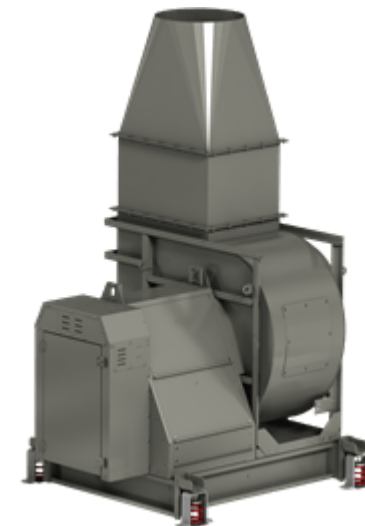
Best Management Practices (BMPs)

Charlotte Kimelman Cancer Institute – BMPs

- Architectural
 - Project Construction to be isolated from Hospital and Hospital operations by following Infection Control Risk Assessment Protocols
 - Asbestos survey to be performed and, if required, mitigation
 - Hazardous fans will ensure the safe removal and dispersal of any hazardous medical byproduct



ICRA
Containment
Barriers



High Velocity
Exhaust Fan

Charlotte Kimelman Cancer Institute – BMPs

- Phased Construction Activity
 - The site will be constructed in one phase. After erosion control measures are installed and the site clearing completed, the following will be put in place:
 - A staging/stockpiling area will be established
 - Existing paved drive way will be used for access



- Erosion and Sediment
 - Plan specifications require erosion and sediment control be implemented on the project

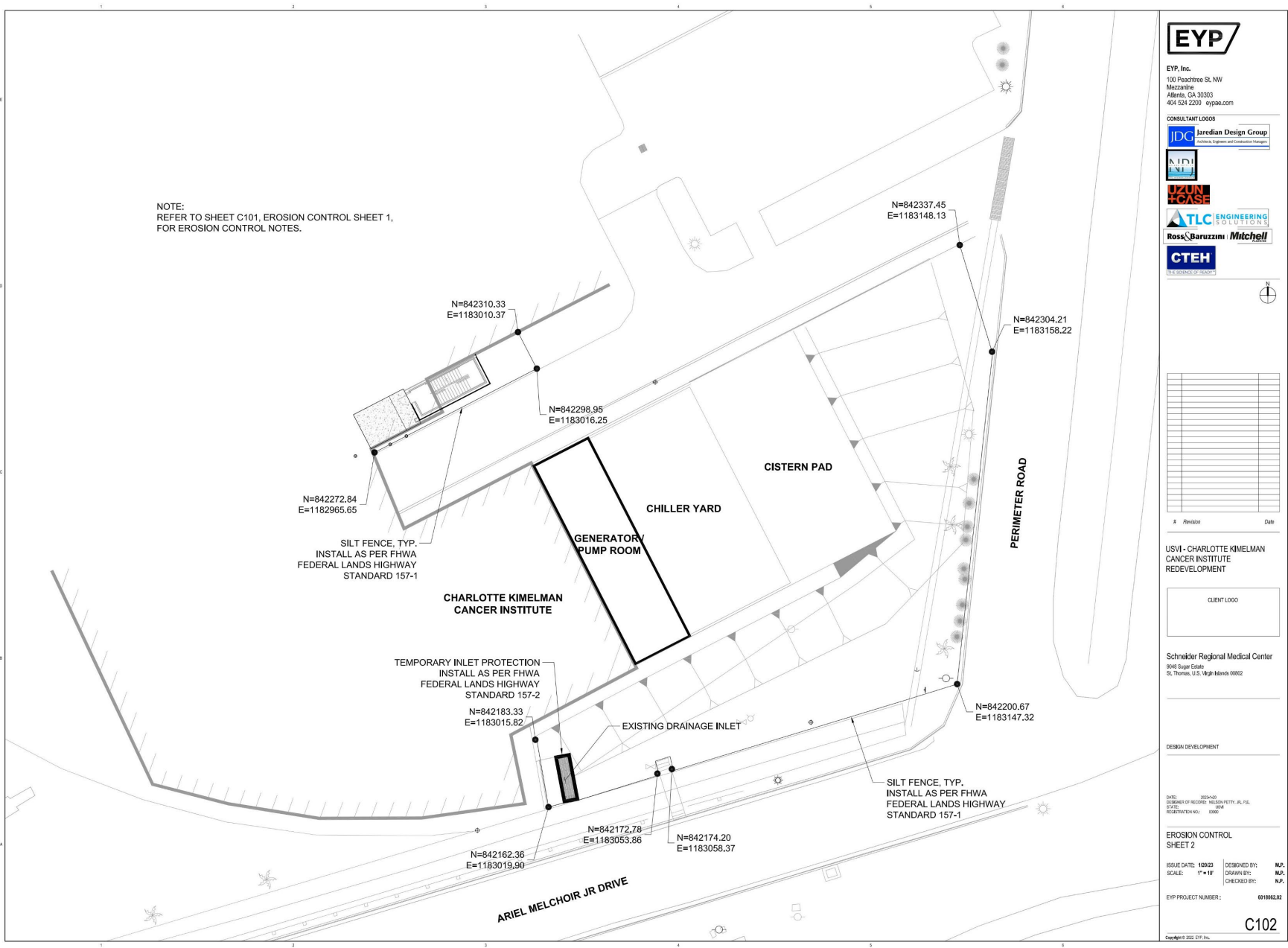


THE LIMITS OF DISTURBANCE HAVE BEEN PROVIDED TO THE CONTRACTOR ON THE CONSTRUCTION PLANS. UNLESS OTHERWISE DIRECTED BY THE OWNER OR ENGINEER, THE CONTRACTOR IS EXPECTED TO CONTAIN ALL CONSTRUCTION ACTIVITIES WITHIN THESE LIMITS. AT NO TIME SHALL THE CONTRACTOR DISTURB SURROUNDING PROPERTIES OR TRAVEL ON SURROUNDING PROPERTIES WITHOUT WRITTEN CONSENT FROM THE PROPERTY OWNER. ANY REPAIR OR RECONSTRUCTION OF DAMAGED AREAS IN SURROUNDING PROPERTIES SHALL BE REPAIRED BY THE CONTRACTOR ON AN IMMEDIATE BASIS. ALL COSTS FOR REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION SHALL BE PROVIDED.

Charlotte Kimelman Cancer Institute – BMPs

- Erosion and Sediment
 - BMPs to be installed during grading process will include the following:
 - A silt fence will be installed around the project site
 - Temporary inlet protection devices shall be installed on drainage inlets
 - Water trucks will be used to control dust during construction
 - Detailed erosion control plans and specifications included in project construction documents as follows:

Charlotte Kimelman Cancer Institute – BMPS



- Clearing and disposal
 - Plan specifications require clearing, storage and debris removal by contractor

1. SHALL CONSIDER TO REMOVED ANY TREE WITHIN THE STRUCTURES FOOTPRINT. MUST NOTIFY THE OWNER AND ENGINEER WHEN ALL WORK IS LAID OUT (SURVEY STAKED), SO THAT A DETERMINATION MAY BE MADE OF SPECIFIC TREES TO BE REMOVED. NO TREES SHOWN ON THE CONSTRUCTION PLANS AS BEING SAVED SHALL BE REMOVED WITHOUT PERMISSION FROM THE OWNER AND ENGINEER.
2. SHALL CONSIDER SODDING FOR ALL PROPOSED OR IMPACTED GREEN AREAS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING AND GRUBBING FOR SITE CONSTRUCTION INCLUDING CLEARING FOR PAVING, UTILITIES, DRAINAGE FACILITIES AND BUILDING CONSTRUCTION.

ALL MATERIALS EXCAVATED SHALL REMAIN THE PROPERTY OF THE OWNER AND SHALL BE STOCKPILED AT ON-SITE LOCATIONS AS SPECIFIED BY THE OWNER. MATERIALS SHALL BE STOCKPILED SEPARATELY AS TO USABLE (NON-ORGANIC) FILL STOCKPILES AND ORGANIC (MUCK) STOCKPILES IF MUCK IS ENCOUNTERED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL UNSUITABLE FILL MATERIALS FROM THE SITE.

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Charlotte Kimelman Cancer Institute – BMPs

- Stormwater Pollution Prevention Plan
- Due to being less than ½ acre in disturbance, a SWPP is not required.
- Management requirements are called out in the specifications

SURFACE & UNDERGROUND DRAINAGE

THE CONTRACTOR SHALL BE EXPECTED, AT THE END OF EACH DAY, TO HAVE THE SITE GRADED IN SUCH A WAY AS TO NOT CAUSE ANY ADVERSE IMPACT FROM RUNOFF OR SILTATION TO ANY ADJACENT PROPERTIES. SILTATION BARRIERS SHALL BE MAINTAINED AND REPAIRED IF REQUIRED AT THE END OF EACH WORKING DAY. GRADING SHOWN ON THESE PLANS ARE PROVIDED TO THE CONTRACTOR TO EXPRESS THE GENERAL GRADING INTENT OF THE PROJECT. THE CONTRACTOR SHALL BE EXPECTED TO GRADE THE ENTIRE SITE TO PROVIDE POSITIVE DRAINAGE IN ALL AREAS THROUGHOUT THE SITE. SMOOTH TRANSITIONS SHALL BE PROVIDED BETWEEN CONTOURS OR SPOT ELEVATIONS AS SHOWN ON THE PLANS TO ACCOMPLISH THE GRADING INTENT. ALL SLOPES SHALL BE (SODDED) STABILIZED IMMEDIATELY AFTER FINAL GRADING HAS BEEN COMPLETED. CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER PRIOR TO DEMOBILIZATION OF GRADING EQUIPMENT TO DETERMINE THAT THE GRADING INTENT HAS BEEN ACHIEVED.

ALL INLETS, MANHOLES, CURB-INLETS AND PIPES INCLUDED IN TABLE NAMED " EXISTING HYDRAULIC STRUCTURES" SHALL BE MECHANICALLY FLUSHED AND CLEAN-UP, PRIOR TO ANY CONSTRUCTION, CONTRACTOR SHALL FIELD STAKE ALL STRUCTURES, WITH SPECIAL ATTENTION TO MATCH POINTS BETWEEN THE PROPOSED & EXISTING CONCRETE CURBS, SIDEWALKS & STORM SEWER INLETS, TO ENSURE PROPOSED DIMENSIONS FIT EXISTING CONDITIONS. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARISE.

EXISTING UTILITIES THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATION OF THESE UTILITIES WITH THE OWNER OF THE UTILITY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING AN UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLANS OR LOCATED BY THE UTILITY COMPANY. ANY UTILITIES, WHETHER SHOWN ON THESE PLANS OR NOT, THAT INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE CLOSELY COORDINATED WITH THE ENGINEER AND THE RESPECTIVE UTILITY COMPANY FOR RELOCATION OR PROPER INSTRUCTION. ANY DELAY OR INCONVENIENCE CAUSED TO THE CONTRACTOR BY THE RELOCATION OF UTILITIES OR PROPER RELOCATION TO THE CONTRACT, AND NO EXTRA COMPENSATION WILL BE ALLOWED. AS-BUILTS AS-BUILTS SHALL BE PROVIDED BY THE CONTRACTOR TO THE ENGINEER TWO WEEKS PRIOR TO FINAL INSPECTION. ALL AS-BUILT DATA SHALL BE PROVIDED BY A PUERTO RICO LICENSED SURVEYOR, BOUND, SEALED AND DATED BY THE RESPONSIBLE PARTY. (SEE INDIVIDUAL SECTIONS: PAVEMENT, WATER SYSTEM, ETC.) FOR ADDITIONAL AS-BUILT REQUIREMENTS. PERMITS AND PERMIT REQUIREMENTS THE CONTRACTOR SHALL OBTAIN FROM THE OWNER COPIES OF ALL AVAILABLE REGULATORY AGENCY PERMITS AND LOCAL AGENCY PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN THE PERMITS FOR REQUIREMENTS FOR EROSION CONTROL AND SURFACE DRAINAGE. LAYOUT AND CONTROL UNLESS OTHERWISE NOTED ON THE PLANS, THE CONTRACTOR SHALL USE THE GEOMETRY PROVIDED ON THE CONSTRUCTION PLANS. BENCHMARK INFORMATION SHALL BE PROVIDED TO THE CONTRACTOR BY THE OWNER OR OWNER'S SURVEYOR. ANY DISCREPANCIES BETWEEN FIELD MEASUREMENTS AND CONSTRUCTION PLAN INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY. QUALITY CONTROL/TESTING REQUIREMENTS TESTING SHALL BE PROVIDED TO THE OWNER AND THE ENGINEER. TESTING REQUIREMENTS ARE TO BE IN ACCORDANCE WITH THE OWNER SPECIFICATIONS AND REQUIREMENTS. ALL TEST RESULTS SHALL BE PROVIDED (PASSING AND FAILING) ON A REGULAR AND IMMEDIATE BASIS. SHOP DRAWINGS AND CERTIFICATIONS FOR ALL WATER SYSTEM AND SEWER SYSTEM MATERIALS AND STRUCTURES ARE REQUIRED. THE CONTRACTOR SHALL SUBMIT COPIES OF SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL PRIOR TO ORDERING THE MATERIALS REQUIRED FOR CONSTRUCTION. MATERIAL SPECIFICATIONS SEE PROJECT SPECIFICATIONS FOR ACCEPTABLE MATERIALS. ALL MATERIALS AND CONSTRUCTION METHODS ARE TO BE IN ACCORDANCE WITH ASTM STANDARD SPECIFICATIONS FOR CONSTRUCTION AND WITH THE DETAILS SHOWN ON THE CONSTRUCTION PLANS. EARTHWORK THE CONTRACTOR SHALL PERFORM HIS OWN INVESTIGATIONS AND CALCULATIONS AS NECESSARY TO ASSURE HIMSELF OF EARTHWORK QUANTITIES. THERE IS NO IMPLICATION THAT EARTHWORK BALANCES AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY IMPORT FILL NEEDED, OR FOR REMOVAL AND DISPOSAL OF EXCESS MATERIALS. EROSION CONTROL EROSION AND SILTATION CONTROL MEASURES ARE TO BE PROVIDED AND INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THESE MEASURES ARE TO BE INSPECTED BY THE CONTRACTOR ON A REGULAR BASIS AND ARE TO BE MAINTAINED OR REPAIRED ON AN IMMEDIATE BASIS AS REQUIRED. REFER TO ENVIRONMENTAL QUALITY BOARD PERMITS FOR REQUIREMENTS FOR EROSION CONTROL AND SURFACE DRAINAGE.	LIMITS OF DISTURBANCE THE LIMITS OF DISTURBANCE HAVE BEEN PROVIDED TO THE CONTRACTOR ON THE CONSTRUCTION PLANS. UNLESS OTHERWISE DIRECTED BY THE OWNER OR ENGINEER, THE CONTRACTOR IS EXPECTED TO CONTAIN ALL CONSTRUCTION ACTIVITIES WITHIN THESE LIMITS. AT NO TIME SHALL THE CONTRACTOR DISTURB SURROUNDING PROPERTIES OR TRAVEL ON SURROUNDING PROPERTIES WITHOUT WRITTEN CONSENT FROM THE PROPERTY OWNER. ANY REPAIR OR RECONSTRUCTION OF DAMAGED AREAS IN SURROUNDING PROPERTIES SHALL BE REPAIRED BY THE CONTRACTOR ON AN IMMEDIATE BASIS. ALL COSTS FOR REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION SHALL BE PROVIDED. TREES AND LANDSCAPING THE CONTRACTOR: 1. SHALL CONSIDER TO REMOVED ANY TREE WITHIN THE STRUCTURES FOOTPRINT. MUST NOTIFY THE OWNER AND ENGINEER WHEN ALL WORK IS Laid OUT (SURVEY STAKED) SO THAT A DETERMINATION MAY BE MADE OF SPECIFIC TREES TO BE REMOVED. NO TREES SHOWN ON THE CONSTRUCTION PLANS AS BEING SAVED SHALL BE REMOVED WITHOUT PERMISSION FROM THE OWNER AND ENGINEER. 2. SHALL CONSIDER SODDING FOR ALL PROPOSED OR IMPACTED GREEN AREAS. CLEARING AND GRUBBING THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING AND GRUBBING FOR SITE CONSTRUCTION INCLUDING CLEARING FOR PAVING, UTILITIES, DRAINAGE FACILITIES AND BUILDING CONSTRUCTION. MATERIAL STORAGE /DEBRIS REMOVAL ALL MATERIALS EXCAVATED SHALL REMAIN THE PROPERTY OF THE OWNER AND SHALL BE STOCKPILED AT ON-SITE LOCATIONS AS SPECIFIED BY THE OWNER. MATERIALS SHALL BE STOCKPILED SEPARATELY AS TO USABLE (NON-COMBUSTIBLE FILL STOCKPILES AND ORGANIC (WOOD) STOCKPILES IF MUCK IS ENCOUNTERED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL UNSUITABLE FILL MATERIALS FROM THE SITE. FILL MATERIAL ALL FILL MATERIALS SHALL CONTAIN NO MUCK, STUMPS, ROOTS, BRUSH, VEGETATIVE MATTER, RUBBISH OR OTHER MATERIAL THAT WILL NOT COMPACT INTO A SUITABLE AND ENDURING BACKFILL. COMPACTION SEE PROJECT SPECIFICATIONS AND SOIL REPORT FOR FILL COMPACTION	TRAFFIC CONTROL A MINIMUM OF 2-WAY ONE LANE TRAFFIC SHALL BE MAINTAINED IN THE WORK SITE AREA. ALL CONSTRUCTION WARNING SIGNS SHALL BE IN PLACE PRIOR TO COMMENCEMENT OFF-SITE CONSTRUCTION AND BE MAINTAINED THROUGHOUT CONSTRUCTION. DEMOLITION 1. THE CONTRACTOR SHALL FURNISH ALL MATERIAL, LABOR, SUPERVISION, AND EQUIPMENT REQUIRED FOR THE ORDERLY DEMOLITION AND REMOVAL OF EXISTING STRUCTURES, PAVEMENT AND UTILITIES AS SHOWN ON THE DRAWINGS AND DESCRIBED HEREIN. 2. THE CONTRACTOR IS REQUIRED TO FAMILIARIZE HIMSELF WITH THE STRUCTURES TO BE DEMOLISHED. 3. THE DRAWINGS INDICATE THE SCOPE OF DEMOLITION WHERE DEMOLITION IS REQUIRED BUT SPECIAL CARE SHALL BE EXERCISE WITH SIDEWALKS, CURBS, GUTTERS, STORM SEWER CATCH BASIN STRUCTURE, SANITARY STRUCTURES, WATER STRUCTURES AND PAVEMENT. THOSE STRUCTURES AND SURFACES SHALL BE REPAIRED AS NECESSARY, BASED ON PROPOSED GRADING PLAN. 4. ALL ON-ROUTE UNDERGROUND STRUCTURES AND PIPES MUST BE COMPLETELY REMOVED AND OVER EXCAVATED BY A MINIMUM OF 12" BENEATH THE STRUCTURES. CONTRACTOR SHALL USE APPROVED FILLING MATERIAL FOR FILLING THESE AREAS. FILL SHALL BE OF CLEAN, FINE SAND, ASPHALT CLASS A-3 AND SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING 8" IN THICKNESS AND COMPACTED TO AT LEAST 98% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D-1557) OR AS PER SOIL REPORT. 5. ALL EXISTING STRUCTURES, SLABS, FOUNDATIONS, BENCHES, SIDEWALKS, CURBS & GUTTERS, ANY TYPE OF POLES, TREES, TRAFFIC SIGNS AND OTHER EXISTING FEATURES INDICATED ON THE DRAWINGS TO BE REMOVED SHALL BE DEMOLISHED AND REMOVED BY THE CONTRACTOR. REMOVE NO STRUCTURE SUBSTANTIALLY AS A WHOLE. DEMOLISH COMPLETELY ON THE PREMISES. 6. ALL EXISTING SEWERS, PIPES AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DEMOLITION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. 7. ELECTRICAL, TELEPHONE, CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS A NECESSITY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. 8. PROVIDE ADEQUATE PROTECTION FOR PERSONS AND PROPERTY AT ALL TIMES. EXECUTE THE WORK IN A MANNER TO AVOID HAZARDS TO PERSONS AND PROPERTY AND PREVENT INTERFERENCE WITH THE USE OF AND ACCESS TO ADJACENT BUILDINGS, STREETS AND SIDEWALKS SHALL NOT BE UNNECESSARILY BLOCKED BY DEBRIS AND EQUIPMENT. 9. WET DOWN MASONRY WALLS, CONCRETE AND DEBRIS DURING DEMOLITION AND LOADING OPERATIONS TO PREVENT THE SPREAD OF DUST. 10. USE A CARBONADIUM SAW WHENEVER MASONRY OR CONCRETE IS TO BE REMOVED WITHIN EXISTING STRUCTURES. AIR HAMMERS OR OTHER DEVICES WILL BE PERMITTED. 11. CONTRACTOR MUST STOP OPERATION AND NOTIFY THE OWNER FOR PROPER DIRECTION IF ANY ENVIRONMENTAL OR HEALTH RELATED CONTAMINATE IS ENCOUNTERED DURING DEMOLITION/EXCAVATION PROCESS. 12. REMOVE AND LEGALLY DISPOSE OF ALL OTHER RUBBISH, RUBBLE, AND DEBRIS. COMPLY WITH ALL APPLICABLE LAWS AND REGULATIONS GOVERNING DISPOSAL OF WASTES AND DEBRIS.	EYP 100 Parkway St. NE Norcross, GA 30092 404.251.2222 www.eyp.com DESIGN TEAM Lead Designer: YOUNG & RUBICAM Design Team: YOUNG & RUBICAM TLC CTEH DATE: 01/15/2025 PROJECT: CHARLOTTE KIMELMAN CANCER INSTITUTE REDEVELOPMENT SHEET: 01 OF 10 SCALE: AS SHOWN BY: [Signature] CHECKED: [Signature] APPROVED: [Signature] DATE: 01/15/2025 PROJECT: CHARLOTTE KIMELMAN CANCER INSTITUTE REDEVELOPMENT SHEET: 01 OF 10 SCALE: AS SHOWN BY: [Signature] CHECKED: [Signature] APPROVED: [Signature] DATE: 01/15/2025
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Summary and Conclusion

- It is our goal that the renovations and additions to the existing Cancer Institute increase its resiliency, modernize the facility, and create an improved and streamlined experience for cancer patients, their families, and hospital staff without compromising the natural resources and coastline of St. Thomas
- ***Based on the size of the site disturbance (0.29 acres) and its location outside of the coastal zone, our civil engineer concludes that this project should not impact the VICZMP***

Thank You and Questions